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**CITY OF KELOWNA**  
**MEMORANDUM**

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**DATE:** JULY 26, 2007  
**TO:** CITY MANAGER  
**FROM:** PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

**APPLICATION NO.** DP07-0016/DVP07-0017      **OWNER:** 0758587 BC Ltd.  
ICE Developments  
**AT:** 290 & 300 Asher Road      **APPLICANT:** S2 Architecture  
315 McIntosh Road

**PURPOSE:** TO OBTAIN A DEVELOPMENT PERMIT AND A DEVELOPMENT VARIANCE PERMIT TO ALLOW FOR THE CONSTRUCTION OF A 4-STOREY 40-UNIT MULTI-UNIT RESIDENTIAL DEVELOPMENT

**EXISTING ZONE:** RU6 - TWO DWELLING HOUSING  
**PROPOSED ZONE:** RM5 – MEDIUM DENSITY MULTIPLE HOUSING  
**REPORT PREPARED BY:** Corine (Cory) Gain, MCIP, CPT

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**1.0 RECOMMENDATION**

THAT Final Adoption of Zone Amending Bylaw No. 9831 be considered by Council;

AND THAT Council authorize the issuance of Development Permit No. DP07-0016 for Lots 19, 20 and 21 Section 26 Township 26 Osoyoos Division Yale District Plan 9924, located at Asher and McIntosh Roads, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";
2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";
3. Landscaping to be provided on the land be in general accordance with Schedule "C";
4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper.
5. Lot consolidation of the subject properties must be completed prior to issuance of the Development Permit.

AND FURTHER THAT the applicant be required to complete the above-noted conditions within 180 days of Council approval of the development permit application in order for the permit to be issued.

AND THAT Council authorize the issuance of Development Variance Permit No. DVP07-0017; Lots 19, 20 and 21 Section 26 Township 26 Osoyoos Division Yale District Plan 9924, located at Asher and McIntosh Roads, Kelowna, BC to vary Zoning Bylaw 8000 as follows:

The rear lot line setback requirement of Section 13.11.6 (f) is varied from 9.0 m to 7.5 m in recognition of the fact the southern lot line functions as a side lot line.

## 2.0 SUMMARY

The applicant is proposing to construct a 40-unit, 4-storey multi-family residential building on the subject properties that complies with the proposed RM-5 zoning designation.

## 3.0 ADVISORY PLANNING COMMISSION

At the regular meeting of June 5, 2007 it was resolved:

AND THAT the Advisory Planning Commission supports Development Permit Application No. DP07-0016, for 290 & 300 Asher Road; 315 McIntosh Road, Lots 19, 20 & 21, Plan 9924, Sec. 26, Twp. 26, ODYD, by S2 Architecture (D. Symons), to obtain a Development Permit to allow construction of a multi family residential building.

The APC suggested the following design concepts be incorporated:

- Enhanced street level articulation;
- Increased connection between the gate and door entries for all units at the ground level;
- Provision of improved siding material (preferably hardiplank) to enhance the overall quality of the exterior.

## 4.0 BACKGROUND

The property under application is located on the southwest corner of Asher and McIntosh Roads in the Rutland Urban Centre area. This property was considered under application Z07-0008 at Public Hearing on August 7<sup>th</sup>, 2007. Three RU6 zoned properties that are currently occupied by two existing single-family dwellings will be consolidated to form one .27 ha. lot (after required road dedication). The Planning and Development Services Department has successfully worked with the applicant to revise the development plans to eliminate the need for all but one variance to the Zoning Bylaw.

### 4.1 The Proposal

The proposed building has been designed with due consideration to the characteristics of the surrounding neighbourhood, one that is currently in transition to a predominantly multi-family area. It is expected that the proposed project will be a positive addition to the community, compatible in function with other residential development and the nearby commercial and recreational opportunities.

The applicant responded to each of the concerns of the APC as outlined in Attachment 'O'.

The subject property is nearly flat and allows for construction of an underground parking structure to a depth of 3 m. The proposed parking structure to the 4-storey, 40-unit multi-family residential building will be accessed by way of the existing lane that runs parallel to Asher Road. Four floors of residential units will be constructed over the underground parkade. The proposed building would consist of 34 two-bedroom units ranging in size from 83.8 m<sup>2</sup> to 101.3 m<sup>2</sup> and six one-bedroom units ranging in size from 62.5 m<sup>2</sup> to 88.2 m<sup>2</sup>. The permitted maximum floor area ratio of 1.30 has been utilized by this proposed development. The proposed building footprint of 1018.8 m<sup>2</sup> would result in a site coverage of 37.2% and a total site coverage of 50% including buildings, patios and driveways. Both of these proposed site coverages are within the maximum allowable under the Zoning Bylaw. The zoning bylaw parking requirement for a total of 59 vehicle parking stalls; 20 Class I and 4 Class II bicycle parking spaces have also been satisfied by the proposal. Six visitor parking spaces will be provided in an unsecured portion of the parkade structure. All parking spaces dedicated to resident

parking are proposed to be located in the secured portion of the parkade. The applicant has made provision for residents to admit visitors to the building via the proposed security system.

The applicant has provided a Geotechnical Report that addresses the potential effects on stability, retention and rehabilitation of the property; a schedule of proposed construction (proposed to commence immediately upon approval with completion anticipated by the end of 2008), a letter from the Landscape Architects describing the attributes of the proposed plan, including the selection of low water intake and native species and a 'Design Brief' report addressing Crime Prevention through Environmental Design.

All documents submissions have been prepared by registered professionals with due attention to the applicable best practices in their fields of expertise.

Modifications have been made to the original proposal submission to address issues of form and character, including location of the main entry, lighting, landscaping, parking and provision of private amenity space. The applicant has incorporated most of the requested changes with the exception of the proposed use of vinyl siding over the stated preference for hardi-board products. The developer has provided correspondence addressing this issue specifically, a copy of which is attached for your information and reference. Further correspondence from the applicant dated June 20, 2007 reinforces the applicant's position with respect to vinyl siding as the appropriate material choice rather than Hardi Board.

Extensive information regarding both the interior and exterior of the building are attached to this report for your reference. A thorough review of the zoning bylaw requirements has confirmed that the proposed development satisfies the applicable provisions with the exception of the rear lot line setback requirement of the RM5 Medium Density Housing Zone as follows:

CRITERIA	PROPOSAL	RM5 ZONE REQUIREMENTS
Site Area (m <sup>2</sup> )	2,737 m <sup>2</sup> / 0.27 ha.	1400 m <sup>2</sup>
Site Width (m)	48.717 m	30 m
Site Depth (m)	56.423 m	35 m
Site Coverage (%)	37.2% (50% Total)	50% (60% including buildings, driveways and parking areas)
F.A.R.	1.3	1.3
Height (m)	12.98 m	13 m
Storeys (#)	4 storeys (< 16.5 m)	4 storeys or 16.5 m
Setbacks (m)		
- Front/McIntosh (North)	6.0 m	6.0 m
- Flanking Street/Asher (East)	6.0 m	6.0 m
- Side (West)	7.5 m	7.5 m
- Rear (South)(Technically the rear lot line, functionally a side lot line)	7.5 m * Variance required *	9.0m or 7.5m where this is a rear lane
Private Open Space	952.6 m <sup>2</sup>	6 units x 15m <sup>2</sup> 34 units x 25m <sup>2</sup> TOTAL: 940 m <sup>2</sup>
Parking Stalls (#)	59 spaces	6 units x 1.25 spaces per unit 34 units x 1.5 spaces per unit Total Required: 59 spaces
Bicycle Stalls (#)	36 spaces	Class I: 0.5/dwelling (20 spaces) Class II: 0.1 per unit (4 spaces) Total Required: 24 spaces
Length of continuous building frontage	Acceptable	Maximum 40 m for a 4 storey building

The colour board provided with the application respects the Planning and Development Services Department preference for timeless earth tones colours typical of the Okanagan landscape. The use of two types of cultured stone will provide added interest to the façade of the building.

#### 4.2 Site Context

Adjacent zones and uses are, to the:

- North - RU6 – Two Dwelling Housing
- East - RM3– Low Density Multiple Housing & RM5 – Medium Density Multiple Housing and RU6 – Two Dwelling Housing
- South - RU6 – Two Dwelling Housing & RM3 – Low Density Multiple Housing
- West - RU6 – Two Dwelling Housing

#### 4.3 Site Location Map (See attachments)

Subject Property: 290 & 290 Asher Road and 315 McIntosh Road

#### 4.4 Current Development Policy

##### 4.4.1 Official Community Plan (OCP)

##### 8.1 **Development Permit Guidelines for Form and Character of Multiple Unit Development: Objectives for Multiple Unit Residential Development:**

- "All development should be an appropriate response to its physical context, or anticipated future context where an area is designated for increased density or land use transition in the OCP.
- All development within Urban Centres and Village Centres should contribute to the creation of pedestrian-oriented streets and public spaces (connections, social interaction).
- All development should contribute to a sense of community identity and sense of place (integration of development within larger community, belonging, and community cohesiveness).
- All development should facilitate access by, and minimize conflicts among pedestrian, bicycle, and vehicular modes of transportation (access, mobility).
- All development should promote safety and security of persons and property within the urban environment (CPTED)"

##### 6.9 **Guidelines for Development within Urban Centres Issues to be considered:**

- Design should facilitate pedestrian and bicycle access
- Vehicle access and on-site circulation should minimize interference with pedestrian movement
- Vehicle access from arterial or collector roads is discouraged. Where possible, such access should be achieved from a local road or lane.
- Loading, garbage and other ancillary services should be located at the rear of buildings.

- Within multiple-unit residential developments, variation between architectural bays within each façade is encouraged.
- Guidelines for Crime Prevention through Environmental Design Guidelines (CPTED) should be followed.
- Lighting shall be used to create a safe and comfortable environment for pedestrians.
- Parking areas should, wherever possible and safe, be located either under buildings or at the rear or side of main buildings.
- Within multiple-unit residential projects, first storey units should ideally provide ground-level access and outdoor amenity space
- Within multiple-unit residential projects, the principle front entranceway should be clearly identified and in scale with the development.

## 5.0 TECHNICAL COMMENTS

### 5.1 Fire Department

Fire department access, fire flows and hydrants as per the BC Building code and City of Kelowna Subdivision Bylaw. Engineered fire flows will determine if present hydrant location, number of hydrants and hydrant volume will be adequate. Fire Department access in the lane and to the parkade entrance is to meet code.

### 5.2 Inspection Services

Ensure fire fighting access requirements met to front entry of building, no other concerns.

### 5.1 Ministry of Transportation

DP07-0016: Please be advised that the above noted Development Permit application does not meet the prescribed criteria as specified in Section 924(2) of the *Local Government Act* and therefore Ministry of Transportation approval is not required.

DVP07-07-0017: Upon our review of the material submitted, we are please to inform you that our interests are unaffected and as such, the Ministry of Transportation has no concerns or objections to the Development Variance Permit.

### 5.3 Works and Utilities Department

- a. Requirements of Rezoning Application No. Z07-0008 must be satisfied before approval of the development permit;
- b. Generally on-site related variances do not compromise Works and Utilities servicing requirements; and
- c. Access to the underground parking from the rear lane to this development meets the City's transportation objectives.

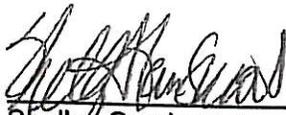
## 3.0 PLANNING AND DEVELOPMENT SERVICES DEPARTMENT COMMENTS

The Planning and Development Services Department is satisfied that the applicant has given due consideration to the Development Permit Form and Character guidelines for multi-unit residential development with respect to the subject application. The roof profile is consistent with the form and character of residential buildings in the vicinity of the proposed site. The design makes a reasonable attempt to break up the bulk of the building and articulate the base with a stone treatment. The

suggestion that the projection form capped by a turret on the north-west corner of the site be placed on the north-east corner to give emphasis to the Asher/McIntosh intersection was not adopted.

One variance for the proposed setback to the southern (technically defined as the rear lot line, functionally defined as a side lot line) is required for the project to proceed. The proposed setback meets the side yard setback requirement which more truly reflects the function of the southern property line and therefore is supported by staff.

On June 4, 2007 the owner of the property located immediately south of the subject property fronting Asher Road reviewed the plans and indicated that he has no objection to the requested variance based on the current proposal. He was pleased that the plans show a large landscaped open space next to his existing duplex and the proposed metal fence to be constructed along the entry to the underground parking area.



Shelley Gambacort  
Current Planning Supervisor

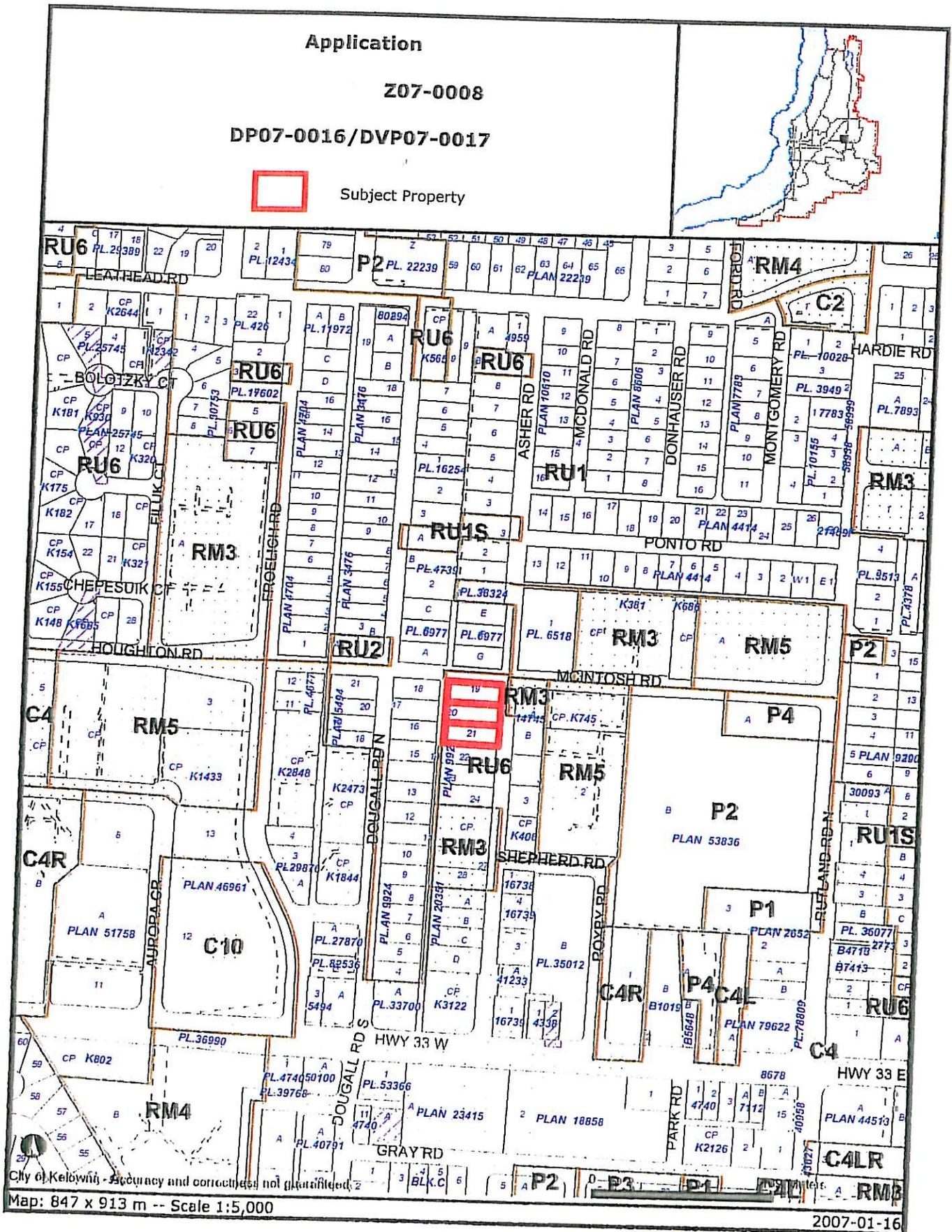
Approved for Inclusion



David L. Shipclark  
Acting Director of Planning & Development Services

### **ATTACHMENTS**

- A - Location Map
- B - Cover Sheet (Drawing DP0.0)
- C - Site Plan (Drawing DP1.1)
- D - Landscape Plan (Drawing DP1.2)
- E - Site Details (Drawing DP1.3)
- F - Parkade Plan (Drawing DP2.1)
- G - Main Floor Plan (Drawing DP2.2)
- H - Second Floor Plan (Drawing DP2.3)
- I - Elevations (Drawing DP4.1)
- J - Elevations (Drawing DP4.2)
- K - Colour Elevations (Drawing DP4.3)
- L - Sections (Drawing DP5.1)
- M - Sections (Drawing DP5.2)
- N - Exterior Materials (DP-MB)
- O - Letter from Ice Developments Ltd. dated April 12, 2007 and E-mail from Ken Shamen, S2Architecture dated June 20, 2007
- P - Architectural Renderings (Asher and McIntosh Frontages)



Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.

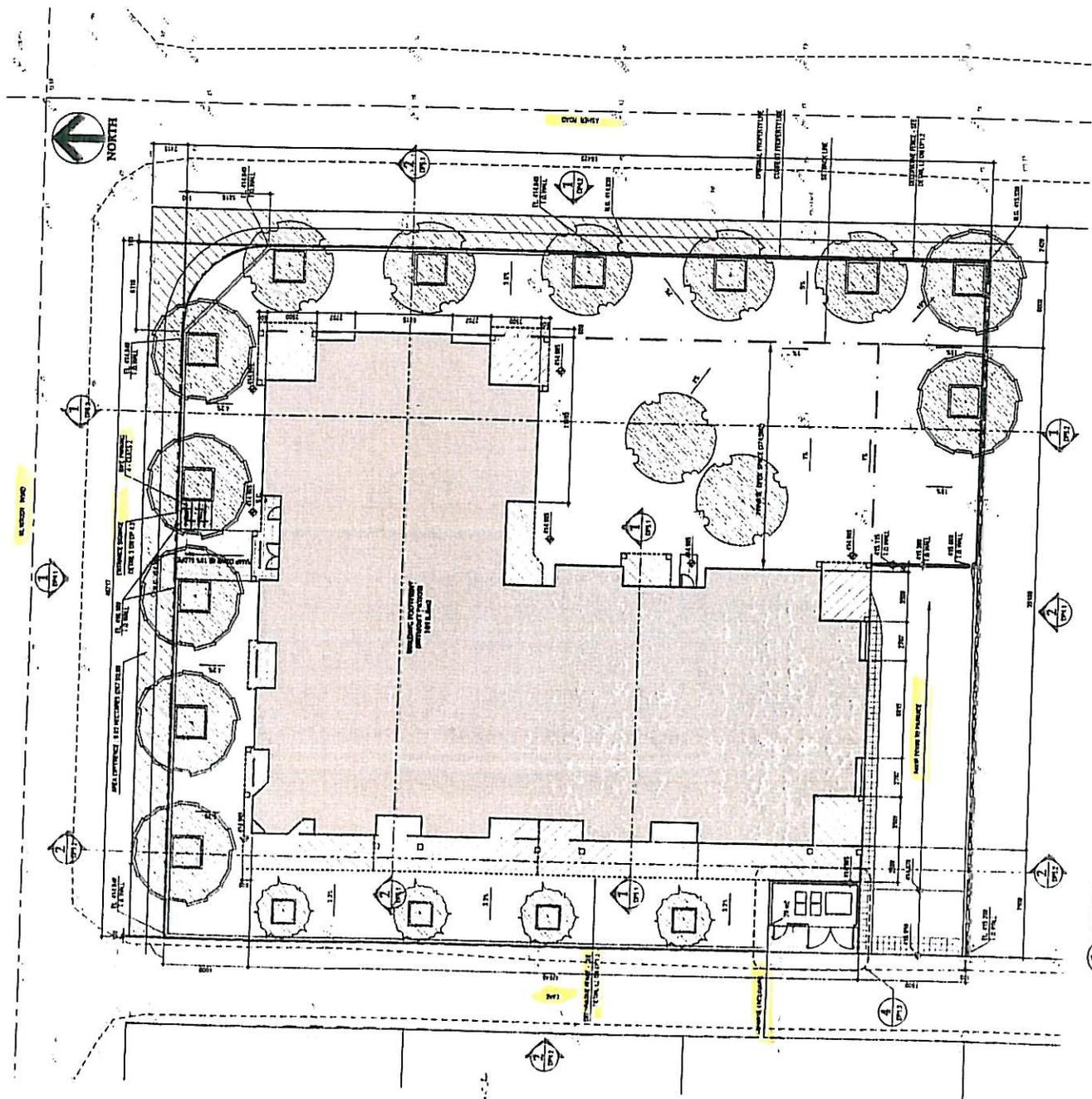


This is a preliminary drawing. It is not to be used for construction without the approval of the architect. It is the responsibility of the client to verify all information and to obtain all necessary permits and approvals. The architect is not responsible for any errors or omissions in this drawing.

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BY	DATE
CHECKED BY	DATE
DESIGNED BY	DATE

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 DESIGNED BY: [Signature]  
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ATTACHMENT C



1 SITE PLAN  
 SCALE: 1/8" = 1'-0"

This drawing represents proposed project. It is not a contract.

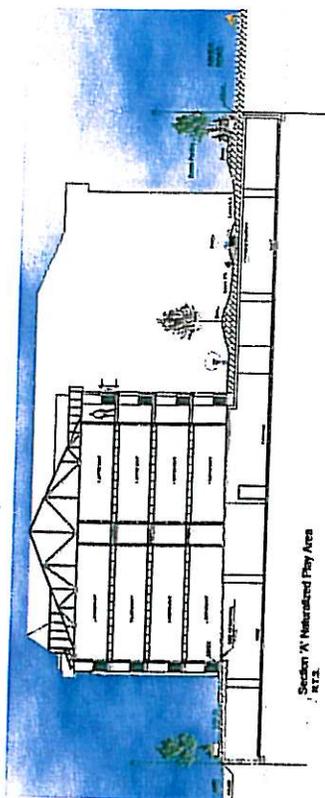
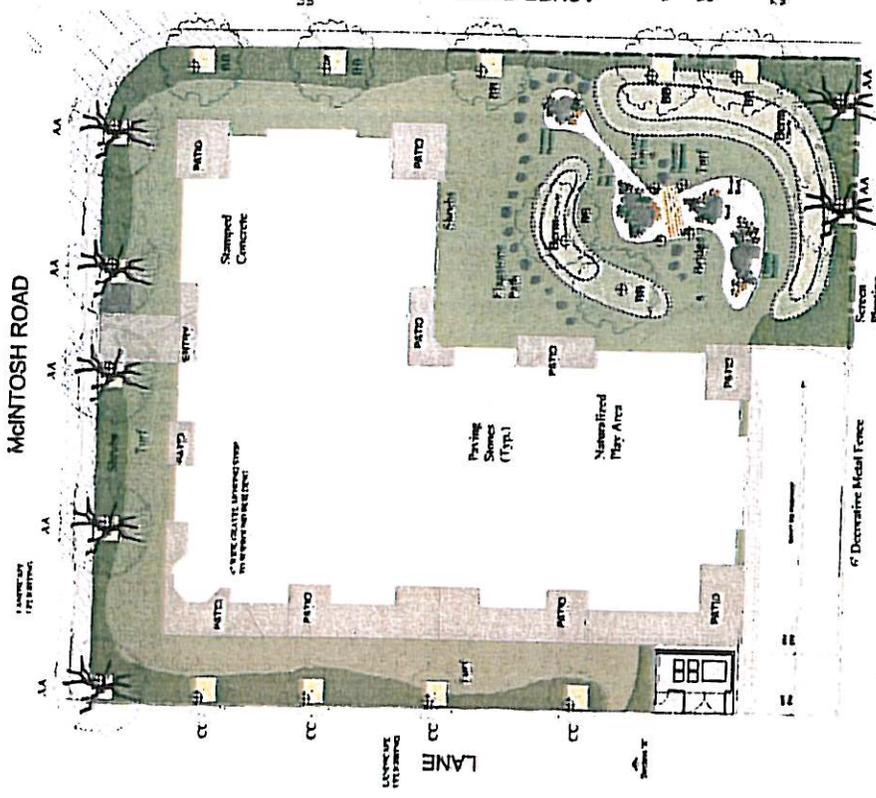
Approval of this drawing is based on the information provided by the client. The architect is not responsible for the accuracy of the information provided. The architect is not responsible for the accuracy of the information provided. The architect is not responsible for the accuracy of the information provided.

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3. PRELIMINARY DESIGN	10-14-2008
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CHECKED BY	DL
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ATTACHMENT D



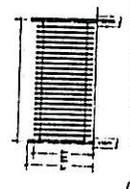
PLANTING LIST

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B	[Symbol]	WESTERN WHITE PINE	10'	10' x 10'
C	[Symbol]	WESTERN DOUGLASS PINE	10'	10' x 10'
D	[Symbol]	WESTERN LARCH	10'	10' x 10'
E	[Symbol]	WESTERN SPRUCE	10'	10' x 10'
F	[Symbol]	WESTERN FIR	10'	10' x 10'
G	[Symbol]	WESTERN JUNIPER	10'	10' x 10'
H	[Symbol]	WESTERN YEW	10'	10' x 10'
I	[Symbol]	WESTERN REDWOOD	10'	10' x 10'
J	[Symbol]	WESTERN HEMLOCK	10'	10' x 10'
K	[Symbol]	WESTERN SITKA SPRUCE	10'	10' x 10'
L	[Symbol]	WESTERN WHITE PINE	10'	10' x 10'
M	[Symbol]	WESTERN DOUGLASS PINE	10'	10' x 10'
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Z	[Symbol]	WESTERN FIR	10'	10' x 10'

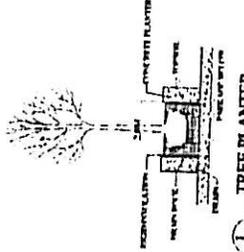
- NOTES:
1. LANDSCAPING TO MEET OR EXCEED STANDARDS AND SPECIFICATIONS OF THE CITY.
  2. ALL SOFT LANDSCAPE AREAS TO BE WATERED WITH A TYPICAL AUTOMATIC UNDERGROUND SPRINKLER SYSTEM.
  3. ALL PLANT MATERIALS TO BE OBTAINED FROM A REPUTABLE NURSERY AND TO BE CERTIFIED FREE OF PESTS AND DISEASES.
  4. ALL PLANT MATERIALS TO BE PLANTED WITH A MINIMUM OF 10% SURVIVAL GUARANTEE.
  5. ALL PLANT MATERIALS TO BE PLANTED WITH A MINIMUM OF 10% SURVIVAL GUARANTEE.
  6. THIS DRAWING IS FOR CONCEPTUAL DESIGN ONLY AND SHALL NOT BE USED FOR CONSTRUCTION.
  7. PLANT LIST IS CONCEPTUAL. FINAL SELECTIONS MAY VARY ACCORDING TO AVAILABILITY.



1. DECORATIVE FENCE  
 DETAIL



2. DECORATIVE FENCE  
 DETAIL



3. TREE PLANTER  
 DETAIL

1. LANDSCAPE PLAN  
 SCALE: 1/8" = 1'-0"



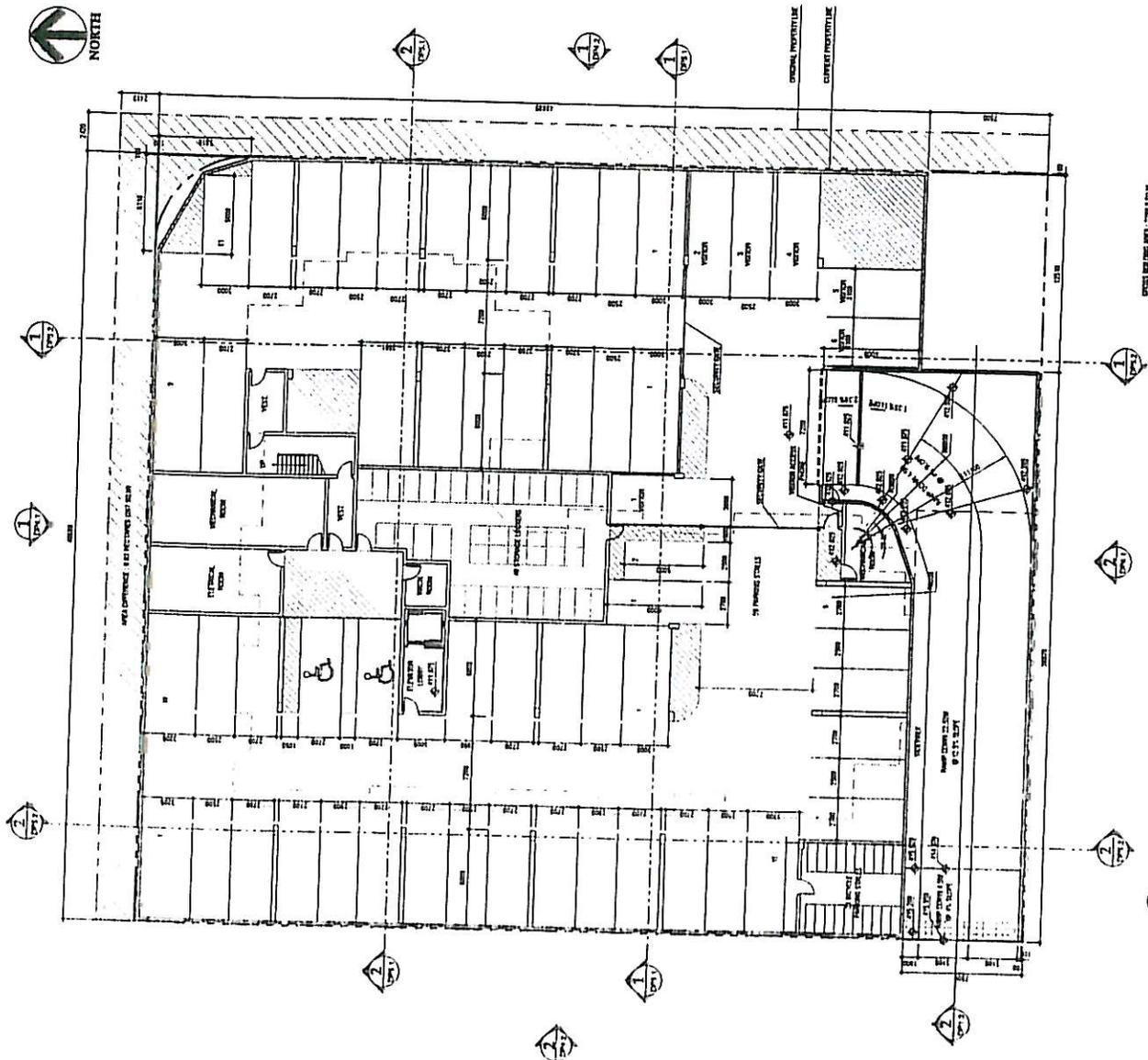
This drawing represents proposed work. It is not to be used for any other purpose without the written consent of the architect. It is the responsibility of the client to verify the accuracy of the information provided on this drawing. The architect shall not be responsible for the accuracy of the information provided by the client.

DATE	DESCRIPTION
08-23-2024	DP SUBMITTAL
07-23-2024	DP EXISTING DISTRIBUTION
06-25-2024	DP EXISTING DISTRIBUTION
06-25-2024	DP EXISTING DISTRIBUTION

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DP2.1  
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ATTACHMENT F



1 PARKADE PLAN  
SCALE 1/150

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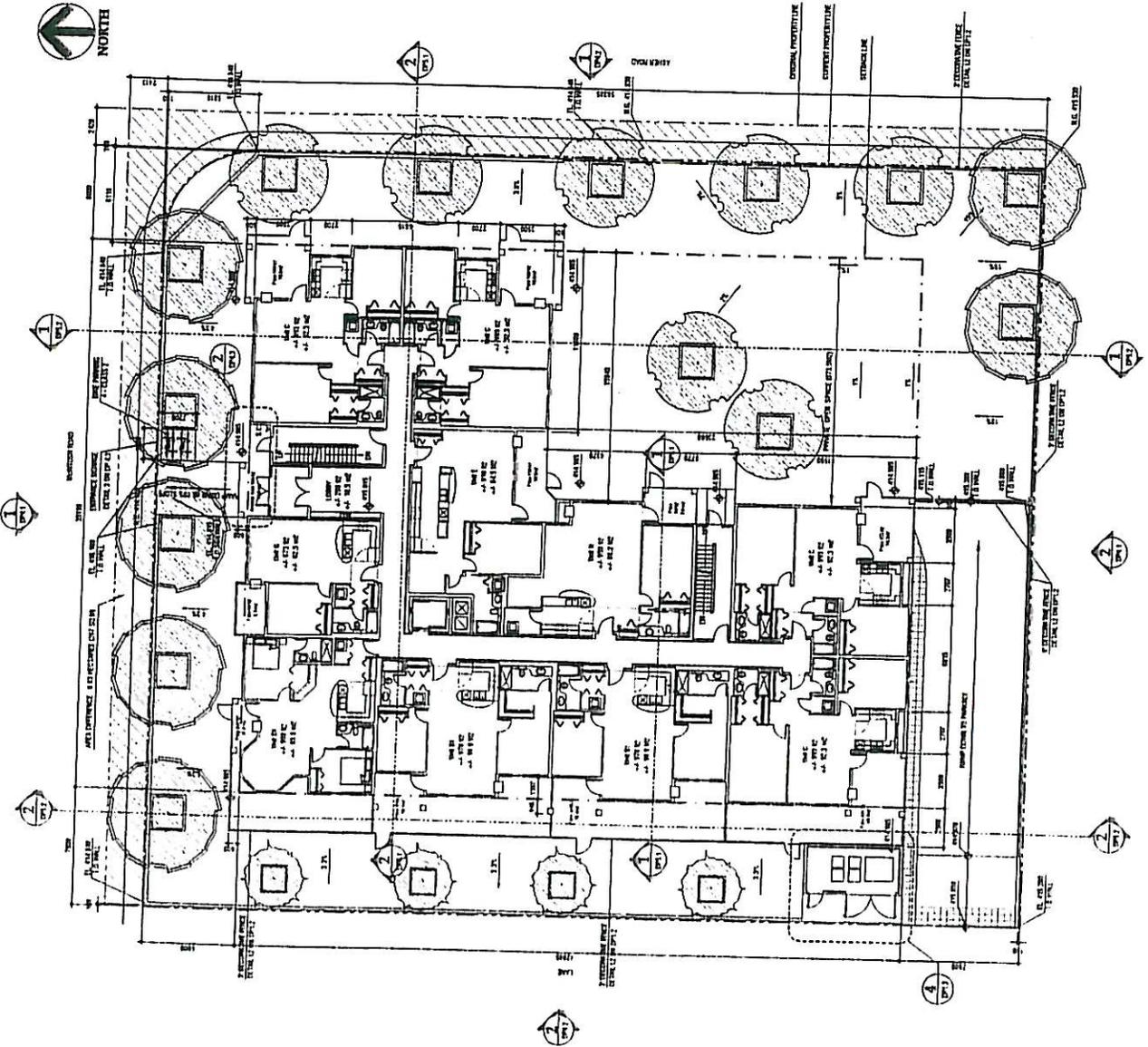
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ATTACHMENT G

ONE BEDROOM: 3  
GROSS BUILDING AREA (WITHOUT PATIOS): 1016.8 SQ.M  
GROSS BUILDING AREA (WITH PATIOS): 1254.0 SQ.M  
NET BUILDING AREA: 875.0 SQ.M



1 MAIN FLOOR PLAN  
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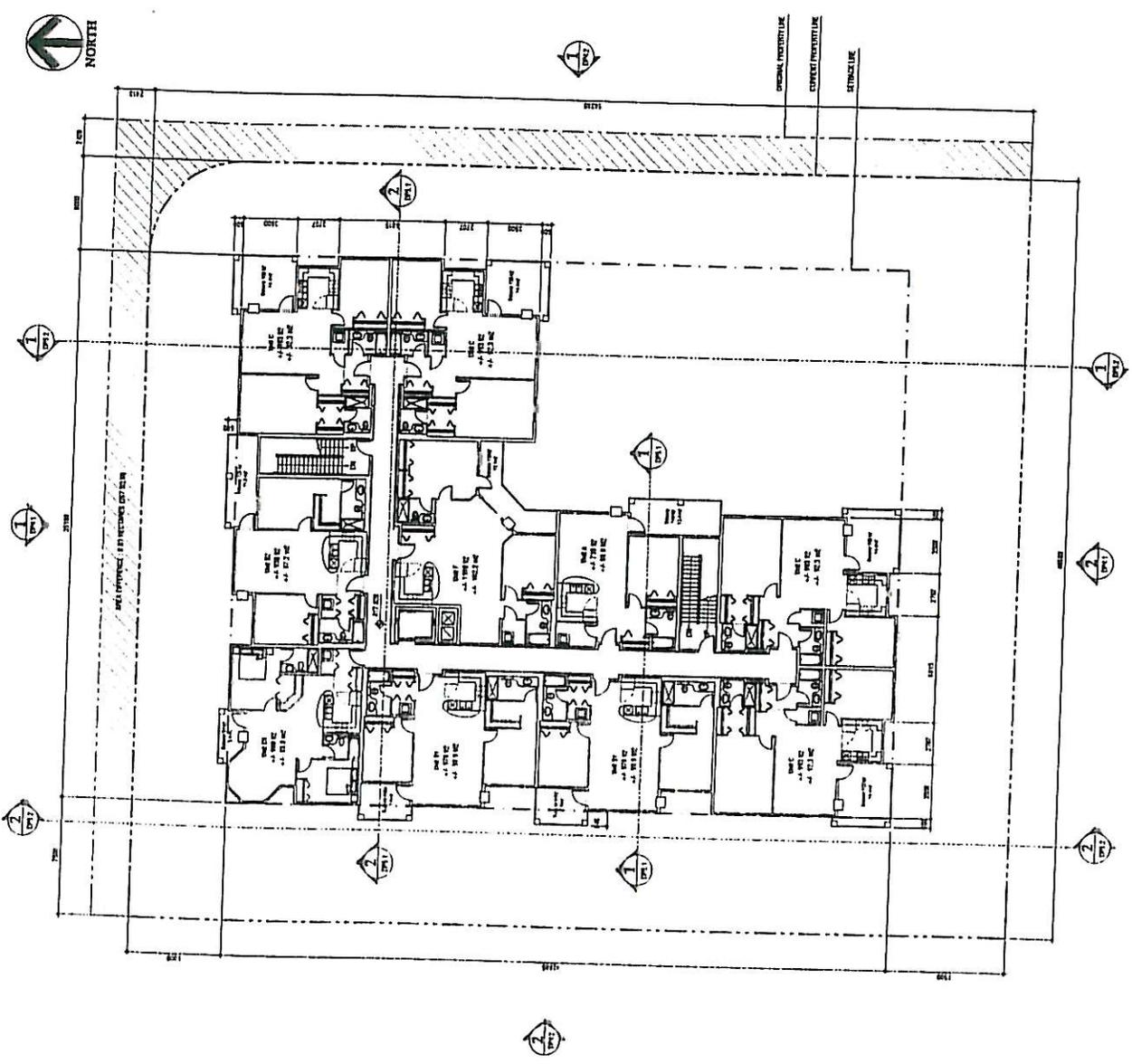
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# ATTACHMENT A

ONE BEDROOM: 1  
TWO BEDROOM: 9  
GROSS BUILDING AREA (WITHOUT BALCONIES): 7013.1 SQ.M  
GROSS BUILDING AREA (WITH BALCONIES 115.3 SQ. M.): 1128.4 SQ.M  
NET BUILDING AREA: 886.1 SQ.M

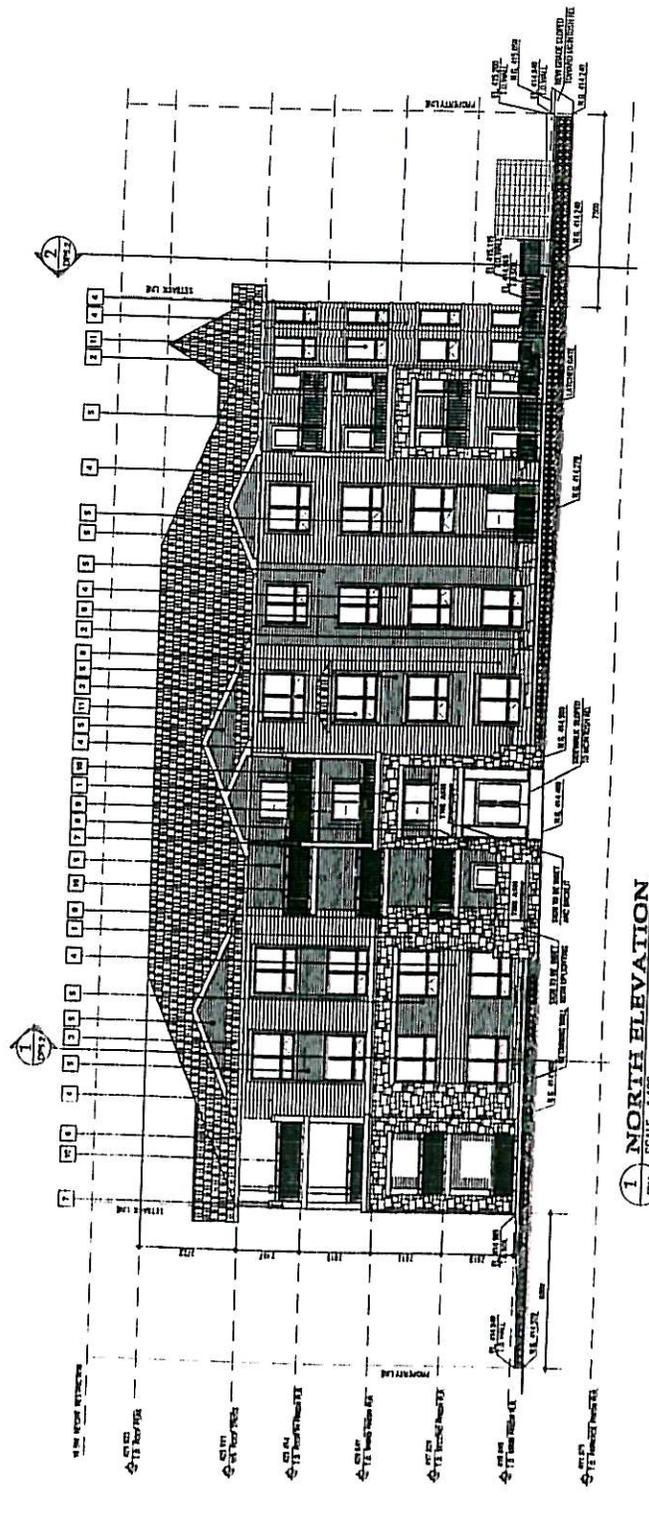


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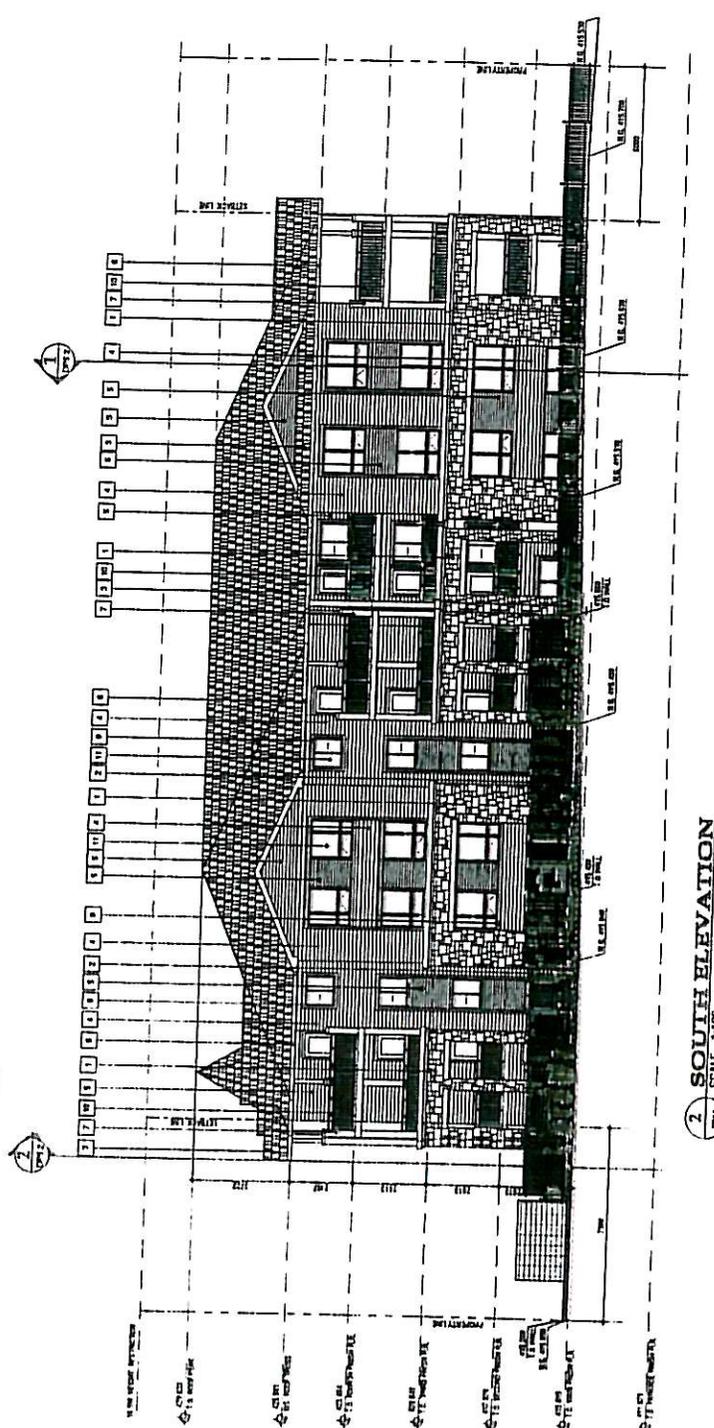
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99. REVISED DESIGN	04/15/2014
100. REVISED DESIGN	04/15/2014

# ATTACHMENT 7

- MATERIAL LEGEND:**
- TYPE 1 STONE WITH STONE CYP
  - TYPE 2 STONE
  - METALLIC BRICKS
  - VINYL SIDING-DARK COLOR
  - ALUMINUM SIDING AND FASCIA
  - PREFERRED TRUST
  - TRIM
  - METAL IMPERIAL
  - CLEAR GLAZING IN VINYL WINDOW FRAME



1 NORTH ELEVATION  
SCALE 1:100



2 SOUTH ELEVATION  
SCALE 1:100

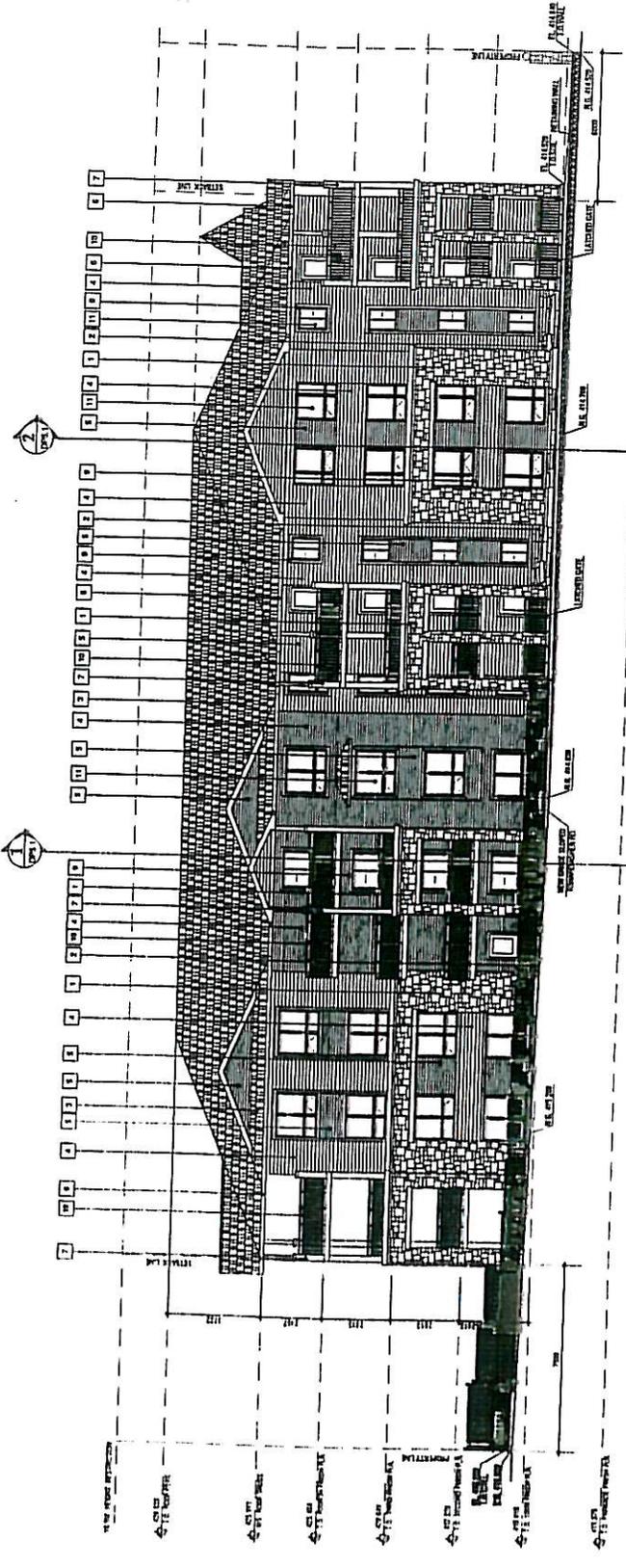
*No drawing is to be construed as a contract. The drawings are the property of the architect. They are to be used only for the project and site specified. Any other use without the written consent of the architect is prohibited. The architect assumes no responsibility for the construction of the project.*

REVISION	DATE
1	02-14-2024
2	03-15-2024
3	04-02-2024
4	04-23-2024

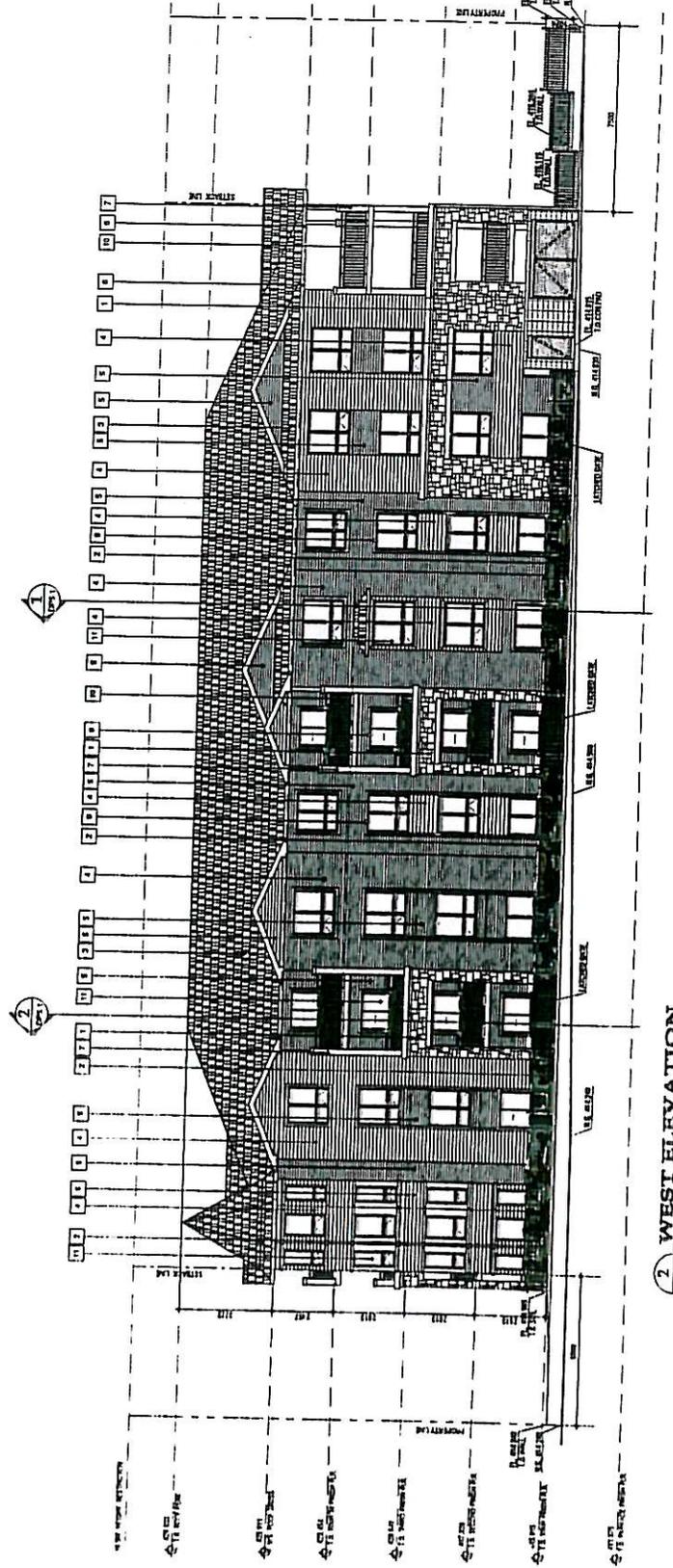
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DATE	01-MAY-2024 11:53 AM
DRAWN BY	CHUCKLE
CHECKED BY	
PROJECT NO.	

**ATTACHMENT J**

- MATERIAL LEGEND:**
- TYPE 1 STONE WITH STONE COP
  - TYPE 2 STONE
  - ARTS & CRAFTS
  - WOOD BRICK-DARK COLOR
  - WOOD BRICK-LIGHT COLOR
  - ALUMINUM SASHES AND PANS
  - UPHOLSTERY
  - TILE
  - METAL HANDRAIL
  - CLER GLAZING IN WIND WINDOW FRAME



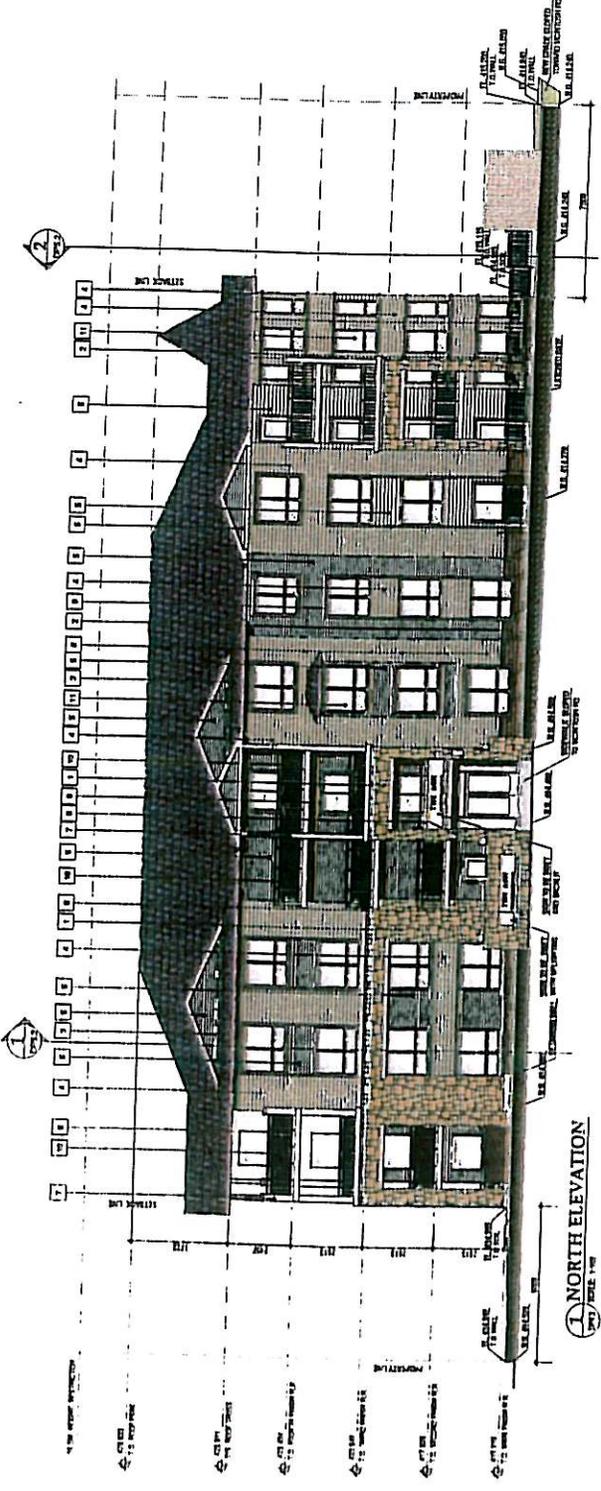
**1 EAST ELEVATION**  
 SCALE 1:100



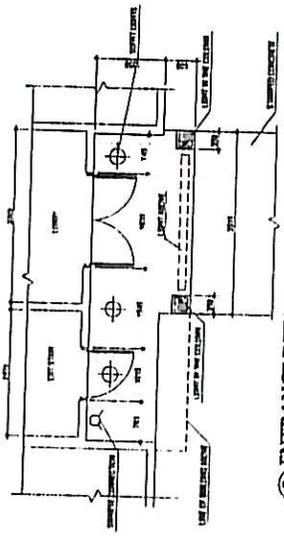
**2 WEST ELEVATION**  
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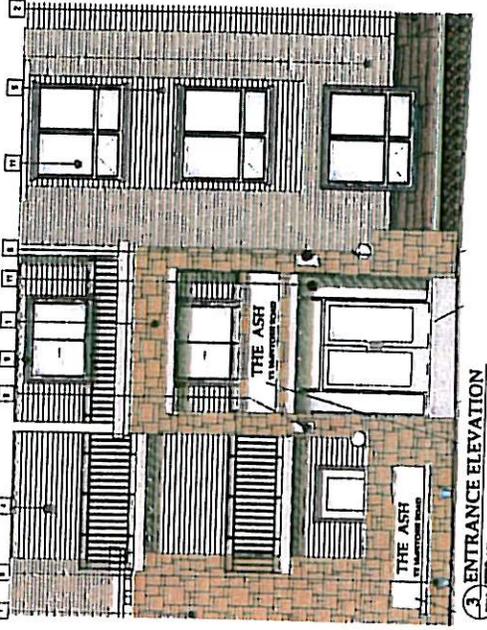
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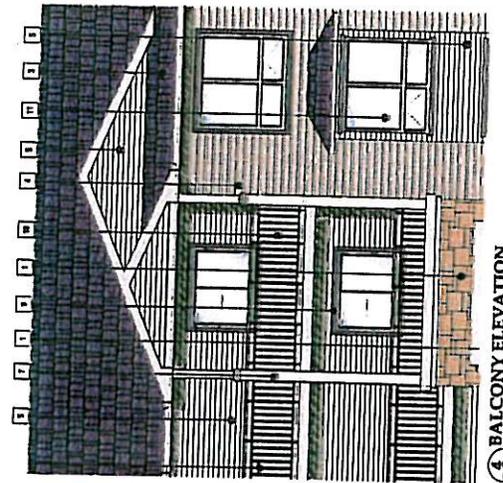
1 NORTH ELEVATION  
 SHEET 1.01



2 ENTRANCE DETAIL  
 SHEET 1.02



3 ENTRANCE ELEVATION  
 SHEET 1.03



4 BALCONY ELEVATION  
 SHEET 1.04

- MATERIAL LEGEND:**
- 1 TYPE 1 STONE WITH STONE CAP
  - 2 TYPE 2 STONE
  - 3 ASPHALT SHINGLES
  - 4 VINYL SIDING-DARK COLOUR
  - 5 VINYL SIDING-LIGHT COLOUR
  - 6 ALUMINUM COFFER AND FASCIA
  - 7 PREFINISHED POST
  - 8 LUMINAIRE
  - 9 TRIM
  - 10 METAL HANDRAIL
  - 11 CLEAR GLAZING IN VINYL WINDOW FRAME

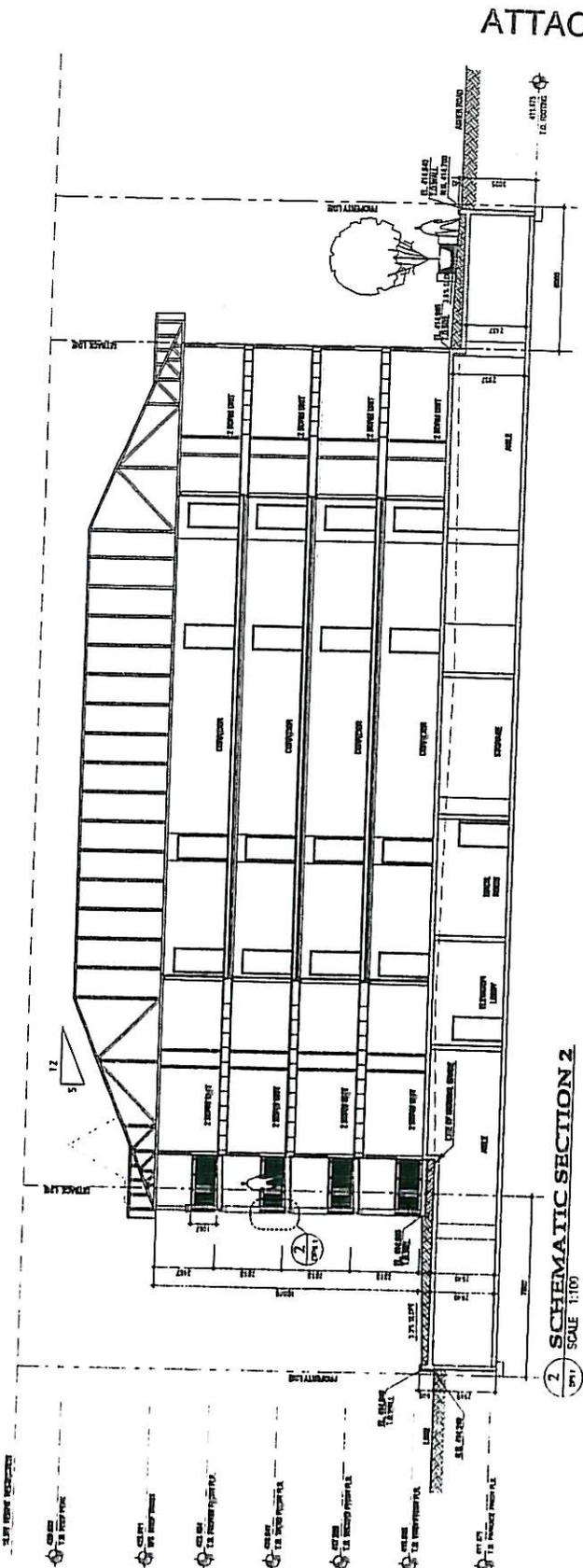
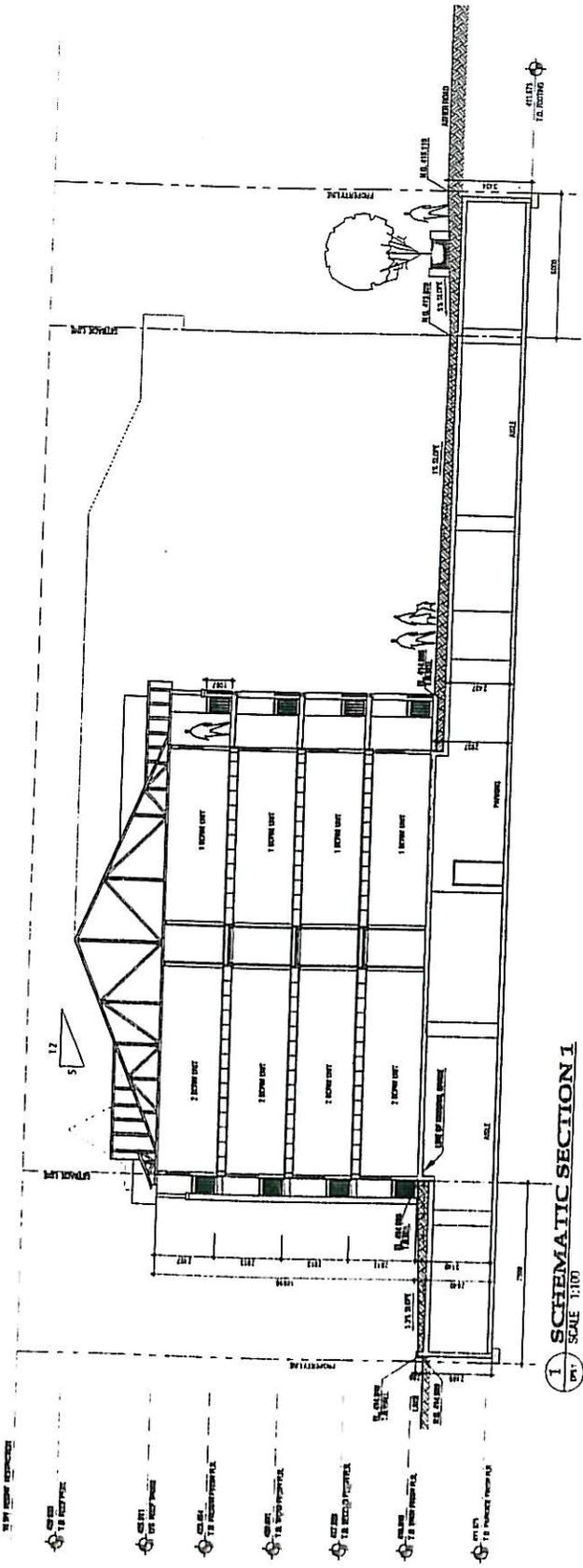
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 2. See General Notes on drawings for details.  
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 9. See General Notes on drawings for details.  
 10. See General Notes on drawings for details.

REVISIONS  
 DATE  
 BY  
 CHECKED  
 APPROVED

SCALE AS SHOWN  
 DATE 08/15/2018  
 PROJECT RUTLAND MULTIFAMILY  
 SHEET NO. DP5.1

DP5.1

ATTACHMENT 7





DAVID SYMONS ARCHITECT

RUTLAND MULTI FAMILY ICE DEVELOPMENTS

Exterior Materials

DATE: 08/20/2018 BY: JACOB PETERSON PROJECT: DP-MB

REVISIONS

NO. DESCRIPTION

1. 08/20/2018

2. 08/20/2018

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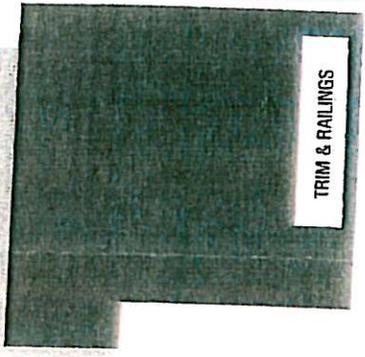
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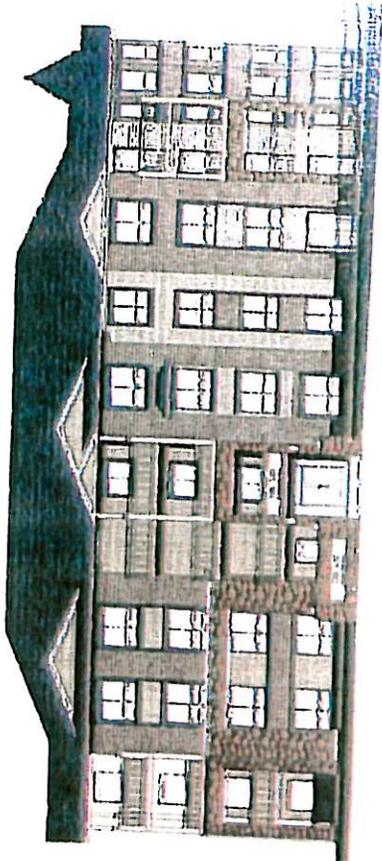
ASPHALT SHINGLE



ALUMINUM SOFFIT AND FASCIA



TRIM & RAILINGS



PAINTED WOOD POST



CULTURED STONE TYPE 1



CULTURED STONE TYPE 2



TEXTURED WALL

Ice Developments Ltd  
#210 - 347 Leon Avenue  
Kelowna, B.C. V1Y 8C7

REGU/RECEIVED  
26-04-2007

April 12<sup>th</sup>, 2007

City Of Kelowna  
Planning and Development Services  
1435 Water Street  
Kelowna, B.C.  
V1Y 1J4

RECEIVED  
MAY 02 2007  
CITY OF KELOWNA  
PLANNING DEPT.

Attn: Corey Gain (Development Manager)

Dear Cory,

Re: DP Application - File # Z07-008/DP07-0016/DVP07-0017

Further to the Design Review Committee comments, particularly item 1.9 "Exterior finish details with preference to hardi-plank type finish over vinyl siding .....", please find below, our comments, as to why we have not included for this type of exterior finish product to this building.

First and foremost, is the fact that hardi-plank type products present a potential health hazard, as the products contain silica (see below), for installers, other workers in the vicinity of the product being installed, as well as future owners and/or tenants should the dust from cutting and drilling find it's way into cavities, ducting, etc, or simply having the dust airborne. We understand that the siding industry is having a difficult time in finding trades people to install this type of product due to the silica component. We wish not to put anyone in harms way.

Silica (SiO<sub>2</sub>) is a common ingredient in hardi type building products. In an intact state, these products do not pose a silica risk. However, when cut, drilled, or abraded during installation, the resulting smaller, silica-containing dust, can pose a potential health hazard as inhalation of excessive quantities over an extended duration can cause silicosis, lung cancer, or other lung-related diseases, potentially leading to death.

We have also found that vinyl products provide better details at window and door jambs, do not require extensive caulking which need regular maintenance, joints are lapped not butted, etc. and also offer equivalent warranties.

Should any additional information be required please contact me at your convenience.

Yours truly,  
Ice Developments Ltd. / 0758587 B.C. Ltd  
Steve Brown, Partner



**Cory Gain**

**From:** Ken Shaman [K.Shaman@s2architecture.com]  
**Sent:** Wednesday, June 20, 2007 12:13 PM  
**To:** Cory Gain  
**Subject:** The Ash - APC Report 6050/1.2

Cory,

We have reviewed the comments from the June 5, 2007 APC meeting and our responses are listed below:

**Visitor Parking** - We have provided secured Visitor Parking.

**Lane Access** - Very early in the design process, we were directed by the transportation and planning departments to locate our access off of the lane and it is our understanding that this is in keeping with sound transportation policy and principles by keeping the site access away from the intersections and separating pedestrian realm from vehicular realm.

**Landscaping** - The landscaping design including fencing, has been reworked several times in conjunction with the planning department and we believe it is an attractive and functional design with lots of interesting features and amenity areas and as such we do not favour further revisions at this time.

**Building Articulation** - The building facade is well articulated and every unit has a significant change in plane ranging from 1.3m to 3.5m. In addition to the change in plane each unit also has 2-4 changes of colour and/or material. We do not favour further revisions at this time

**At-Grade Entrances** - In order to protect the privacy and security of the future residents, additional access and accentuation of the patio doors is not in keeping with the design intent of the project.

**Siding Material** - We are still of the position that vinyl siding is an appropriate material choice rather than Hardi-board for the following reasons:

- as suggested in the letter from the client dated April 12, 2007, the silica dust is a health risk and is indicated as such in the manufacturer's literature

(attached Hardiplank Info.pdf) as taken from the James Hardi Website

<http://www.jameshardie.com/>

- Hardi Board requires regular maintenance in terms of painting and caulking as indicated in the manufacturer's literature and on their website

- from a distance both vinyl and Hardi Board have the same appearance. Please see the attached images of houses 1 & A.

- in order to promote a broad based community made up of various types of housing options, multi-family residences appeal to the entry level

target market which also suggests that in some cases more affordable finishing materials be considered

- we are not aware of any architectural guidelines which prohibit the use of vinyl siding for this area

Please let us should you require any further information prior to the submission of the report coming out of the APC meeting. We look forward to receiving the report upon its completion.

Regards,

**Ken Shaman**

M.Arch  
Intern Architect

**S2 Architecture**

Sulte 900, 110 - 12 Avenue SW  
Calgary, Alberta, Canada, T2R 0G7

D 403.670.7050 x 1071

T 403.670.7000

F 403.670.7051

K.Shaman@s2architecture.com

www.s2architecture.com

7/26/2007

## Architectural Renderings



**Asher Road Frontage**



**McIntosh Road Frontage**

# Land Title System

# Search Results

For: [ PV14912 ] [ MACDONALD, GAYLE ]

Jul 26, 2007

As Of: 07/07/26 12:04:31

12:04:31 PM

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Folio: |

## Search by Title Displaying Current Information

### Title Displayed

KAMLOOPS	LAND TITLE OFFICE	TITLE NO: LA71123
DECLARED VALUE	301000	FROM TITLE NO: KW183076

APPLICATION FOR REGISTRATION RECEIVED ON: 30 MAY, 2006  
 ENTERED: 05 JUNE, 2006

REGISTERED OWNER IN FEE SIMPLE:  
 0758587 B.C. LTD., INC.NO. BC0758587  
 210 - 815 - 10TH AVENUE SW  
 CALGARY, AB  
 T2R 0B4

### TAXATION AUTHORITY:

CITY OF KELOWNA  
 BLACK MOUNTAIN IRRIGATION DISTRICT  
 RUTLAND WATERWORKS DISTRICT

### DESCRIPTION OF LAND:

PARCEL IDENTIFIER: 008-180-920  
 LOT 19 SECTION 26 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN 9924

### LEGAL NOTATIONS: NONE

### CHARGES, LIENS AND INTERESTS:

NATURE OF CHARGE  
 CHARGE NUMBER    DATE    TIME

### MORTGAGE

LA71126    2006-05-30    14:44  
 REGISTERED OWNER OF CHARGE:  
 KEN REDEKOPP  
 AS TO AN UNDIVIDED 75000/680000 INTEREST  
 LA71126  
 DRYSDALE VENTURES INC.  
 AS TO AN UNDIVIDED 150000/680000 INTEREST  
 LA71126  
 SCOTT DIMOND  
 AS TO AN UNDIVIDED 50000/680000 INTEREST  
 LA71126

OLYMPIA TRUST COMPNAY  
 IN TRUST, SEE LA71126  
 INCORPORATION NO. A50545  
 AS TO AN UNDIVIDED 100000/680000 INTEREST  
 LA71126

JOYCE FLEMING  
AS TO AN UNDIVIDED 50000/680000 INTEREST  
LA71126  
DAVID SCHAUS  
AS TO AN UNDIVIDED 180000/680000 INTEREST  
LA71126  
SUSAN SCHAUS  
AS TO AN UNDIVIDED 75000/680000 INTEREST

LA71126  
REMARKS: INTER ALIA

ASSIGNMENT OF RENTS  
LA71127 2006-05-30 14:44  
REGISTERED OWNER OF CHARGE:  
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AS TO AN UNDIVIDED 75000/680000 INTEREST  
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DRYSDALE VENTRUES INC.  
AS TO AN UNDIVIDED 150000/680000 INTEREST  
LA71127  
SCOTT DIMOND

AS TO AN UNDIVIDED 50000/680000 INTEREST  
LA71127  
OLYMPIA TRUST COMPANY  
IN TRUST, SEE LA71126  
INCORPORATION NO. A50545  
AS TO AN UNDIVIDED 100000/680000 INTEREST  
LA71127  
JOYCE FLEMING  
AS TO AN UNDIVIDED 50000/680000 INTEREST  
LA71127  
DAVID SCHAUS  
AS TO AN UNDIVIDED 180000/680000 INTEREST  
LA71127

SUSAN SCHAUS  
AS TO AN UNDIVIDED 75000/680000 INTEREST  
LA71127  
REMARKS: INTER ALIA

MORTGAGE  
LB25572 2007-03-06 09:40  
REGISTERED OWNER OF CHARGE:  
TOSCANA CAPITAL CORPORATION  
LB25572  
REMARKS: INTER ALIA

"CAUTION - CHARGES MAY NOT APPEAR IN ORDER OF PRIORITY. SEE SECTION 28, L.T.A."

DUPLICATE INDEFEASIBLE TITLE: NONE OUTSTANDING

TRANSFERS: NONE

PENDING APPLICATIONS: NONE

\*\*\* CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN \*\*\*

Main Menu	Return			Search Again	Help ?
Print Only Current Title Info.		Print Current & Cancelled Title Info.			

Main Menu	Return				Help ?
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### Search Again

	Kamloops	Land Title District
Search by:	Title (QT) - display current info	
Search Criteria:	LA71123	
	Submit	Reset

### Land Title System

### Search Results

For: [ PV14912 ] [ MACDONALD, GAYLE ]

Jul 26, 2007

As Of: 07/07/26 12:05:15

Check for Prints

12:05:15 PM

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Print Only Current Title Info.

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Folio: |

#### Search by Title Displaying Current Information

#### Title Displayed

KAMLOOPS	LAND TITLE OFFICE	TITLE NO: LA71124
DECLARED VALUE	300000	FROM TITLE NO: 260959

APPLICATION FOR REGISTRATION RECEIVED ON: 30 MAY, 2006  
 ENTERED: 05 JUNE, 2006

REGISTERED OWNER IN FEE SIMPLE:  
 0758587 B.C. LTD., INC.NO. BC0758587  
 210 - 815 - 10TH AVENUE SW  
 CALGARY, AB  
 T2R 0B4

#### TAXATION AUTHORITY:

CITY OF KELOWNA  
 BLACK MOUNTAIN IRRIGATION DISTRICT  
 RUTLAND WATERWORKS DISTRICT

#### DESCRIPTION OF LAND:

PARCEL IDENTIFIER: 009-633-049  
 LOT 20 SECTION 26 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN 9924

#### LEGAL NOTATIONS: NONE

#### CHARGES, LIENS AND INTERESTS:

NATURE OF CHARGE  
 CHARGE NUMBER    DATE    TIME

#### MORTGAGE

LA71126    2006-05-30    14:44

#### REGISTERED OWNER OF CHARGE:

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 AS TO AN UNDIVIDED 75000/680000 INTEREST  
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 DRYSDALE VENTURES INC.  
 AS TO AN UNDIVIDED 150000/680000 INTEREST  
 LA71126  
 SCOTT DIMOND  
 AS TO AN UNDIVIDED 50000/680000 INTEREST  
 LA71126

OLYMPIA TRUST COMPNAY  
 IN TRUST, SEE LA71126  
 INCORPORATION NO. A50545  
 AS TO AN UNDIVIDED 100000/680000 INTEREST  
 LA71126

JOYCE FLEMING  
AS TO AN UNDIVIDED 50000/680000 INTEREST  
LA71126  
DAVID SCHAUS  
AS TO AN UNDIVIDED 180000/680000 INTEREST  
LA71126  
SUSAN SCHAUS  
AS TO AN UNDIVIDED 75000/680000 INTEREST

LA71126  
REMARKS: INTER ALIA

ASSIGNMENT OF RENTS  
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REGISTERED OWNER OF CHARGE:  
KEN REDEKOPP  
AS TO AN UNDIVIDED 75000/680000 INTEREST  
LA71127  
DRYSDALE VENTRUES INC.  
AS TO AN UNDIVIDED 150000/680000 INTEREST  
LA71127  
SCOTT DIMOND

AS TO AN UNDIVIDED 50000/680000 INTEREST  
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OLYMPIA TRUST COMPANY  
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JOYCE FLEMING  
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DAVID SCHAUS  
AS TO AN UNDIVIDED 180000/680000 INTEREST  
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SUSAN SCHAUS  
AS TO AN UNDIVIDED 75000/680000 INTEREST  
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REMARKS: INTER ALIA

MORTGAGE  
LB25572 2007-03-06 09:40  
REGISTERED OWNER OF CHARGE:  
TOSCANA CAPITAL CORPORATION  
LB25572  
REMARKS: INTER ALIA

"CAUTION - CHARGES MAY NOT APPEAR IN ORDER OF PRIORITY. SEE SECTION 28, L.T.A."

DUPLICATE INDEFEASIBLE TITLE: NONE OUTSTANDING

TRANSFERS: NONE

PENDING APPLICATIONS: NONE

\*\*\* CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN \*\*\*

Main Menu	Return			Search Again	Help ?
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Main Menu	Return				Help ?
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### Search Again

	Kamloops	Land Title District
Search by:	Title (QT) - display current info	
Search Criteria:	LA71124	
	Submit	Reset

# Land Title System

# Search Results

For: [ PV14912 ] [ MACDONALD, GAYLE ]

Jul 26, 2007

As Of: 07/07/26 12:05:42

12:05:43 PM

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Folio: |

## Search by Title Displaying Current Information

### Title Displayed

KAMLOOPS	LAND TITLE OFFICE	TITLE NO: LA71125
DECLARED VALUE	305000	FROM TITLE NO: 260959

APPLICATION FOR REGISTRATION RECEIVED ON: 30 MAY, 2006  
 ENTERED: 05 JUNE, 2006

REGISTERED OWNER IN FEE SIMPLE:  
 0758587 B.C. LTD., INC.NO. BC0758587  
 210 - 815 - 10TH AVENUE SW  
 CALGARY, AB  
 T2R 0B4

### TAXATION AUTHORITY:

CITY OF KELOWNA  
 BLACK MOUNTAIN IRRIGATION DISTRICT  
 RUTLAND WATERWORKS DISTRICT

### DESCRIPTION OF LAND:

PARCEL IDENTIFIER: 009-633-065  
 LOT 21 SECTION 26 TOWNSHIP 26 OSOYOOS DIVISION YALE DISTRICT PLAN 9924

LEGAL NOTATIONS: NONE

### CHARGES, LIENS AND INTERESTS:

NATURE OF CHARGE  
 CHARGE NUMBER    DATE    TIME

### MORTGAGE

LA71126    2006-05-30    14:44

#### REGISTERED OWNER OF CHARGE:

KEN REDEKOPP  
 AS TO AN UNDIVIDED 75000/680000 INTEREST  
 LA71126  
 DRYSDALE VENTURES INC.  
 AS TO AN UNDIVIDED 150000/680000 INTEREST  
 LA71126  
 SCOTT DIMOND  
 AS TO AN UNDIVIDED 50000/680000 INTEREST  
 LA71126

OLYMPIA TRUST COMPNAV  
 IN TRUST, SEE LA71126  
 INCORPORATION NO. A50545  
 AS TO AN UNDIVIDED 100000/680000 INTEREST  
 LA71126

JOYCE FLEMING  
 AS TO AN UNDIVIDED 50000/680000 INTEREST  
 LA71126  
 DAVID SCHAUS  
 AS TO AN UNDIVIDED 180000/680000 INTEREST  
 LA71126  
 SUSAN SCHAUS  
 AS TO AN UNDIVIDED 75000/680000 INTEREST

LA71126  
 REMARKS: INTER ALIA

ASSIGNMENT OF RENTS  
 LA71127 2006-05-30 14:44  
 REGISTERED OWNER OF CHARGE:  
 KEN REDEKOPP  
 AS TO AN UNDIVIDED 75000/680000 INTEREST  
 LA71127  
 DRYSDALE VENTRUES INC.  
 AS TO AN UNDIVIDED 150000/680000 INTEREST  
 LA71127  
 SCOTT DIMOND

AS TO AN UNDIVIDED 50000/680000 INTEREST  
 LA71127  
 OLYMPIA TRUST COMPANY  
 IN TRUST, SEE LA71126  
 INCORPORATION NO. A50545  
 AS TO AN UNDIVIDED 100000/680000 INTEREST  
 LA71127  
 JOYCE FLEMING  
 AS TO AN UNDIVIDED 50000/680000 INTEREST  
 LA71127  
 DAVID SCHAUS  
 AS TO AN UNDIVIDED 180000/680000 INTEREST  
 LA71127

SUSAN SCHAUS  
 AS TO AN UNDIVIDED 75000/680000 INTEREST  
 LA71127  
 REMARKS: INTER ALIA

MORTGAGE  
 LB25572 2007-03-06 09:40  
 REGISTERED OWNER OF CHARGE:  
 TOSCANA CAPITAL CORPORATION  
 LB25572  
 REMARKS: INTER ALIA

"CAUTION - CHARGES MAY NOT APPEAR IN ORDER OF PRIORITY. SEE SECTION 28, I.T.A."

DUPLICATE INDEFEASIBLE TITLE: NONE OUTSTANDING

TRANSFERS: NONE

PENDING APPLICATIONS: NONE

\*\*\* CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN \*\*\*

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### Search Again

	Kamloops	Land Title District
Search by:	Title (QT) - display current info	
Search Criteria:	LA71125	
	Submit	Reset



The Best Place on Earth

Our File: 02-081-21858  
Your File: DP07-0016

February 27, 2007

COPY

City of Kelowna  
1435 Water Street  
Kelowna, BC V1Y 1J4

Attention: Heather Benmore

**Re: Development Permit Application No. DP07-0016 – ICE Developments  
Asher and McIntosh Roads – Rutland area.**

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Please be advised that the above noted Development Permit application does not meet the prescribed criteria as specified in Section 924(2) of the *Local Government Act* and therefore Ministry of Transportation approval is not required.

Should you have any questions, please call or email me directly.

Yours truly,

Robert Bitte  
District Development Technician  
e-mail: [rob.bitte@gov.bc.ca](mailto:rob.bitte@gov.bc.ca)

RB

Ministry of  
Transportation

Okanagan Shuswap District  
Southern Interior Region

Mailing Address:  
#300 - 1358 St. Paul Street  
Kelowna, BC V1Y 2E1

Telephone: (250) 712-3662  
Facsimile: (250) 712-3669  
Web Address: [www.gov.bc.ca/tran](http://www.gov.bc.ca/tran)

Development Approvals Website: [http://www.gov.bc.ca/Development\\_Approvals/home.htm](http://www.gov.bc.ca/Development_Approvals/home.htm)

Permits Website: <http://www.tb.gov.bc.ca/permits>



The Best Place on Earth

Our File: 02-081-21859  
Your File: DVP07-0017

February 27, 2007

COPY

City of Kelowna  
1435 Water Street  
Kelowna, BC V1Y 1J4

Attention: Heather Benmore

**Re: Development Variance Permit Application No. DP07-0017 – ICE Developments  
Asher and McIntosh Roads – Rutland area.**

Upon our review of the material submitted, we are pleased to inform you that our interests are unaffected and as such, the Ministry of Transportation has no concerns or objections to the Development Variance Permit.

Should you have any questions, please call or email me directly.

Yours truly,

Robert Bitte  
District Development Technician  
e-mail: [rob.bitte@gov.bc.ca](mailto:rob.bitte@gov.bc.ca)

RB

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Ministry of Transportation	Okanagan Shuswap District Southern Interior Region	Mailing Address: #300 – 1358 St. Paul Street Kelowna, BC V1Y 2E1	Telephone: (250) 712-3662 Facsimile: (250) 712-3669 Web Address: <a href="http://www.gov.bc.ca/tran">www.gov.bc.ca/tran</a>
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Development Approvals Website: [http://www.gov.bc.ca/Development\\_Approvals/home.htm](http://www.gov.bc.ca/Development_Approvals/home.htm)

Permits Website: <http://www.th.gov.bc.ca/permits>